

# APPLICATION FOR BUILDING PERMIT

## Town of Machias, Maine

Building Permit request for:

- New Construction  
 Expansion / Alteration  
 Moving of Building  
 Reconstruction / Replacement  
 Conversion to another or different use

Date application received at Town Office:

Recipients Initials:

4/18/2023 Fee Paid \$ 35.00  
SCP

Name of Applicant:

(or Agent)

Address of Applicant:

STEVEN G. TILNEY  
24 VIP DRIVE

Telephone:

207-259-1243

Address of Building(s):

24 VIP DRIVE, MACHIAS, ME 04654

Map

5

Lot

38A

Proposed Use: (Describe briefly use of structure such as nature of business or residence, single or multi-family)

SINGLE-FAMILY, EXPANSION OF 1<sup>ST</sup> FLOOR BATHROOM TO INCLUDE HANDICAP SHOWER

Indicate what other structures are located on the same lot and the uses:

SINGLE-FAMILY TRAILER OWNED BY SON AND DAUGHTER-IN-LAW

(Refer to Town of Machias Building Permit Ordinance 01/26/1989 in answering all applicable sections below.)

1.  Yes  No A waiver or variance is requested. (Attach separate sheet stating the request and reasons why you believe they should be allowed.)
2.  Yes  No A copy of the applicable town tax map showing lot location is attached.
3.  Yes  No The property is connected to the Machias Water Co. supply or can be connected. If the property is not, or cannot be connected to the Machias Water Co. supply, water will be provided by:  
 Well  Spring  Other \_\_\_\_\_
4.  Yes  No The property is connected to Town of Machias sewer system or can be connected. Attach a copy of the Sewer Entrance Permit and include the location of the connection on the site plan if the project is to be connected to the Town of Machias sewer system.
5.  Yes  No N/A A soil test has been conducted for installation of a septic system for sewage disposal. (Attach a copy of test document and diagram of the recommended septic location.)
6.  Yes  No A site plan showing all items listed in section 4A(3) of Machias Building Permit Ordinance is attached. The site plan should reflect the dimensions of the lot on which construction is to be undertaken specifically to include the road frontage measurement. The plan should also include setback distances for the proposed construction from each boundary and from the public road or private access road.
7.  Yes  No A copy of the deed, lease, purchase and sales agreement, or other evidence of ownership or control of the real estate is attached.
8.  Yes  No Will surface water drainage adversely affect any neighboring properties?
9.  Yes  No Will lighting reflect beyond lot lines or cause annoyance to neighboring properties?
10.  Yes  No N/A Lot has a minimum of at least 100 feet of frontage on a town road or deeded private way.
11.  Yes  No The building lot is at least 15,000 square feet in size or larger.
12.  Yes  No N/A The building setback will be at least 35 feet from the front of the lot.
13.  Yes  No Side and rear distances from the lot lines are at least 15 feet to proposed building.
14.  Yes  No The proposed structure will be no more than 50 feet above ground level, including chimneys, stacks or other protrusions that are part of the structure.
15.  Yes  No N/A There will be safe vehicular entrance and exit to public or private roads that border the lot. (Indicate vehicle driveway on site plan.)
16.  Yes  No Will the proposed activity involve the installation or change of use of a driveway providing access to a state highway? If so, an entrance permit from the Department of Transportation must be obtained prior to any issuance of permits and attached to this application.
17. There will be N/A off street parking spaces as shown in site plan.

18. Commercial, industrial, and residential structures are required to comply with certain federal and/or state minimum standards and regulations

By initialing the items set forth below, the applicant is acknowledging awareness of, and compliance with, any applicable federal and state regulations and has attached copies of all approved permits that may be required. Indicate below which items apply to this building permit application and certify compliance by initialing the appropriate below:

N/A

Water Supply _____	Water Pollution _____	Flood Hazard Development Permit _____
Air Pollution _____	Soil Erosion _____	Maine DOT Entrance Permit _____
Shoreland Zoning _____	Surface Drainage _____	Sewer Connection Permit _____
Sewage Pollution _____	Noise Level _____	Natural Resources Protection Act Permit _____
Other _____		

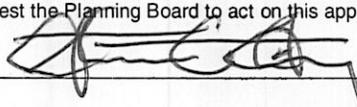
19. Estimated cost of proposed building or structure(s): \$ 40,000

20. Name, address and telephone number of contractor or builder:

PROJECT ENGINEER - RICK RAMSDALL  
P.O. BOX 468, EAST MACHIAS, ME 04630, 207-461-9396

21. I have read and understand the Town of Machias Building Permit Ordinance and hereby make application for a permit based on the information contained above and request the Planning Board to act on this application at its next scheduled monthly meeting.

Signature of Applicant:



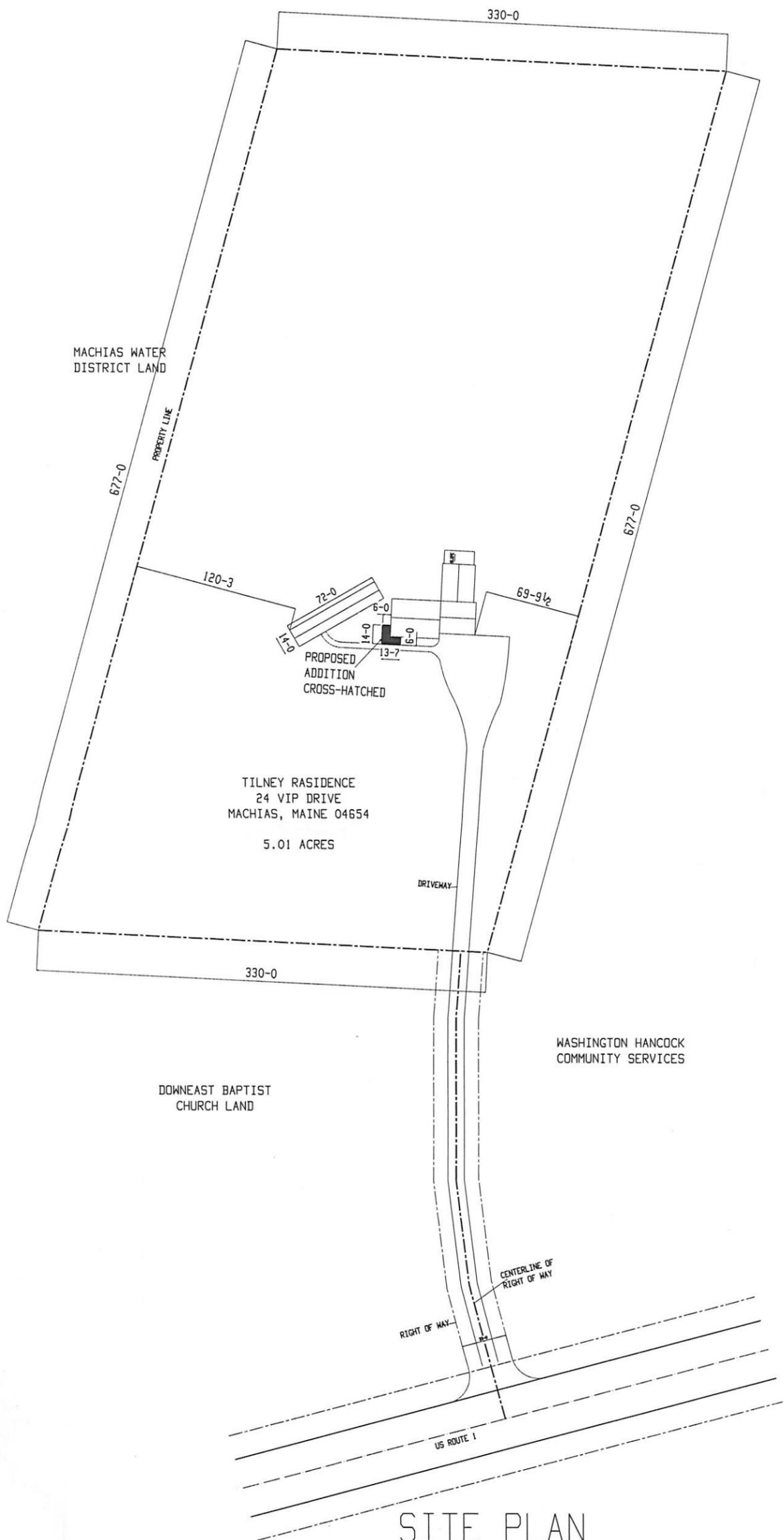
NOTE: Although not required, it is recommended that the applicant, or a duly appointed representative attend the meeting at which the application for a Building Permit is to be considered.

For Planning Board use:

Building Permit:  Approved  Denied

By the Planning Board on (Date): \_\_\_\_\_

Authorized Planning Board Signature: \_\_\_\_\_



TILNEY RESIDENCE  
 24 VIP DRIVE  
 MACHIAS, MAINE 04654  
 5.01 ACRES

PROPOSED  
 ADDITION  
 CROSS-HATCHED

DRIVEWAY

WASHINGTON HANCOCK  
 COMMUNITY SERVICES

DOWNEAST BAPTIST  
 CHURCH LAND

MACHIAS WATER  
 DISTRICT LAND

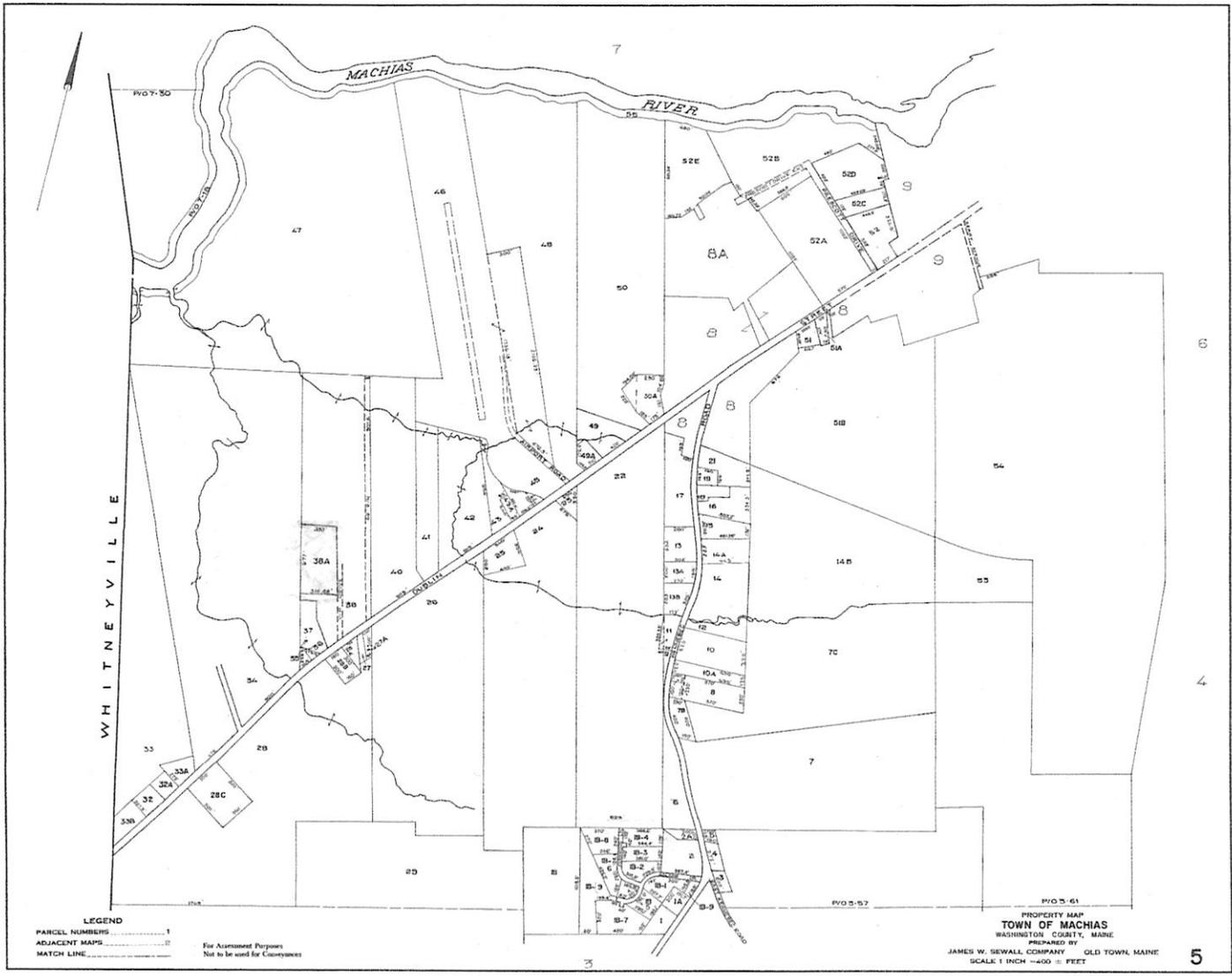
RIGHT OF WAY  
 CENTERLINE OF  
 RIGHT OF WAY

US ROUTE 1

SITE PLAN  
 SCALE: 1"=40"  
 IF PRINTER ON  
 24x36 PAPER

REV	DATE	DESCRIPTION

JOB		
TILNEY RESIDENCE ADDITION AND RENOVATIONS		
MADE BY: RMR	CHECKED BY:	DATE: 06-02-22
ARCH: BAYSHORE STEEL DETAILING		
DESCRIPTION: SITE PLAN FOR BUILDING PERMIT		
		DMG. NO.
		51



Map 5, Lot 38A

Town of Machias  
----- Receipt -----

08/26/22 1:38 PM ID:OCF #193611  
 TYPE----- REF--- AMOUNT  
 TITNEY, STEVEN G & TITNEY, SUSAN M  
 Real Estate Payme 10-2022 3,326.22  
 Principal  
 24 VIP DRIVE  
 TITNEY, STEVEN G & TITNEY, SUSAN M  
 Real Estate Payme 10-2022 67.88  
 DISCOUNT  
 24 VIP DRIVE  
 Total: 3,326.22\*  
 Paid By: TITNEY, STEVEN G & TITNEY, SUSAN  
 Remaining Balance: 0.00  
 HOURS MODIFIED M(9-230)W(10-4)F(10-4)  
 Check : 3,326.22  
 2763 - 3,326.22

Current Billing Information	
Land	23,300
Building	163,800
Assessment	187,100
Homestead Exempt	24,750
Other Exemption	5,940
Taxable	156,410
Rate Per \$1000	21.700
Original Bill	3,394.10
First Due 10/14/22	1,697.05
Second Due 3/14/23	1,697.05
<b>Total Due</b>	<b>3,394.10</b>

Acres: 5.01

Map/Lot 005-038-A

Book/Page B4843P387 10/18/2021

Location 24 VIP DRIVE

2.00% discount available. To obtain, pay 3,326.22 in full by 10/14/2022

Information

As a result of State payments to the Town through the State Municipal Revenue Sharing Program, the Homestead Exemption Reimbursement, and State Aid to Education, your property tax bill has been reduced by 58%.

Interest of 4% will be charged on any unpaid tax after 10/14/2022 and 3/14/2023..  
 Payment by credit or debit card will incur a 3% processing fee.

The Town of Machias is on the web: [www.machiasme.org](http://www.machiasme.org)  
 There are details regarding individual property valuations on the website.

DOG OWNERS: Remember to license your dog no later than 12/31/2022.  
 The Town of Machias has bonded indebtedness of \$1,203,982 as of 6/30/2022.

Current Billing Distribution			Remittance Instructions	
EDUCATION	53.00%	1,798.87	Please make checks or money orders payable to	
MUNICIPAL	35.40%	1,201.51	Town of Machias and mail to:	
COUNTY	8.40%	285.10	Town of Machias	
TAX INCREMENT	3.20%	106.61	PO Box 410	
			Machias ME 04654	
			TOWN OFFICE PHONE: 207-255-6621	

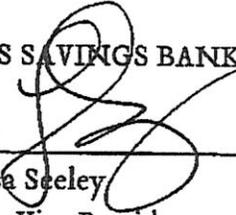
Please remit this portion with your second payment

## DISCHARGE OF MORTGAGE

KNOW ALL PERSONS BY THESE PRESENTS, that MACHIAS SAVINGS BANK, the holder of a mortgage from Steven G. Tilney and Susan M. Tilney to Machias Savings Bank dated March 9<sup>th</sup>, 2011 and recorded in the Washington County Registry of Deeds in Book 3724, Page 124 does hereby acknowledge SATISFACTION of the same.

IN WITNESS WHEREOF, Machias Savings Bank has caused this instrument to be executed by Lisa Seeley, its duly authorized Vice President on this 23<sup>rd</sup> day of November 2021.

MACHIAS SAVINGS BANK

By   
Lisa Seeley  
Its: Vice President

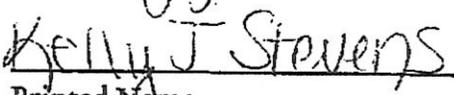
STATE OF MAINE  
County of Washington, ss.

November 23<sup>rd</sup>, 2021

Personally, appeared the above-named Lisa Seeley of MACHIAS SAVINGS BANK and acknowledged the foregoing instrument to be his/her free act and deed in said capacity and the free act and deed of Machias Savings Bank.

Before me,

  
Notary Public/Attorney at Law

  
Printed Name

My Commission Expires:

**Kelly J. Stevens**  
Notary Public, State of Maine  
My Commission Expires August 5, 2028

## WARRANTY DEED

STEVEN G. TILNEY, whose mailing address is 24 VIP Drive, Machias, Maine 04654,

for consideration (no monies being involved as this is a conveyance into joint tenancy with wife),

grants unto STEVEN G. TILNEY AND SUSAN M. TILNEY, husband and wife, whose mailing address is 24 VIP Drive, Machias, Maine 04654,

with WARRANTY COVENANTS, as JOINT TENANTS,

A certain lot or parcel together with buildings and improvements thereon situated northerly of U.S. Highway #1, so-called, in Machias, Washington County and State of Maine, being bounded and described as follows, to wit:

Beginning at a 3/4" steel rebar set with cap on the easterly line of land now or formerly of Machias Water Company as described in Deed recorded in Book 608, Page 522 of the Washington County Registry of Deeds, said 3/4" steel rebar set with cap being North 15° 00' 17" East along the easterly line of said Machias Water Company and 50.00 feet from a 5/8" rebar with surveyor's cap (P.L.S. #2324) found set at the northwest corner of land now or formerly of Downeast Baptist Church, Inc. as described in Deed recorded in Book 3510, Page 039 of said Registry of Deeds.

Thence North 15° 00' 17" East along the easterly line of aforesaid Machias Water Company a distance of 677.00 feet to a 3/4" steel rebar set with cap;

Thence South 87° 18' 40" East a distance of 330.00 feet across the land of Doris A. Davis (Book 2214, Page 178 of the Washington County Registry of Deeds) to a 3/4" steel rebar set with cap;

Thence South 15° 00' 17" West a distance of 677.00 feet across the land of Doris A. Davis (Book 2214, Page 178) to a 3/4" steel rebar set with cap;

Thence North 87° 18' 40" West a distance of 19.522 feet across the land of Doris A. Davis (Book 2214, Page 178) to a point in the centerline of the access right of way to the herein described premises;

Thence continuing North 87° 18' 40" West a distance of 310.48 feet across the land of said Davis to the point of beginning.

The within granted parcel of land contains 5.01 acres. Courses herein are referenced to the Magnetic Meridian as observed by CES in November 2004, in accordance with a Plan prepared by Malcolm E. Harriman, Professional Land Surveyor No. 1259.

NO TRANSFER TAX PAID

Granting also to the Grantees herein, their heirs and assigns, to be used in common with Doris A. Davis, her heirs and assigns, a thirty-three (33) foot wide right of way and easement for all purposes of a way by foot or by vehicle, and for power and utilities, together with the rights to construct, use, maintain, inspect, repair and improve said right of way, to construct, maintain, operate and upgrade from time to time on said lands and for all utility purposes, including for the transmission of electricity, telephone, communications and cable television, or similar services which are currently or may in the future become available over and upon the existing driveway crossing the retained land of Doris A. Davis (2009) leading from Route #1 in a generally northerly direction to the southerly boundary line of the above conveyed property, the centerline of said easement being defined as follows:

Beginning at a point on the northerly right of way of U.S. Route #1 at the centerline of the existing driveway, said point bearing North 69° 39' 56" East and 160.04 feet from a pin at the southeast corner of land now or formerly of Downeast Baptist Church, Inc. described in Deed recorded in Book 3510, Page 039 of the Washington County Registry of Deeds;

Thence North 15° 01' 53" West along the centerline of said drive – 102.39 feet to a point;

Thence North 07° 02' 37" West along said centerline – 78.63 feet to a point;

Thence North 01° 15' 44" West along said centerline – 120.07 feet to a point;

Thence North 04° 00' 16" East along said centerline – 49.558 feet to a point;

Thence North 08° 18' 27" East along said centerline – 74.73 feet to a point on the southerly line of the within granted parcel, said point also being located North 87° 18' 40" West, 19.522 feet from the ¾" steel rebar set with cap marking the southeast corner of the within granted parcel.

The above conveyed real estate and right of way and easement are conveyed subject to and together with the benefit of the following as set forth in the deed recorded in Book 3588, Page 220 of said Registry:

“Said utility easement over and upon the above thirty-three (33) foot wide right of way shall be of sufficient width for utilities as required by utility companies and shall be assignable to utility companies. Maintenance of said right of way shall be shared. Grantor and Grantee, and their respective heirs and assigns, shall share equally the maintenance and plowing for the driveway from Route #1 to the southerly boundary of the above conveyed lot. Grantor, her heirs and assigns, shall be responsible for maintenance and plowing of the office parking lot on the land retained by Grantor. If Grantee, or his heirs and assigns, purchase a plow for snowplowing, Grantor, for herself and her heirs and assigns, agree to contribute a reasonable sum to the Grantee for plowing said driveway.”

"Grantor, for herself, her heirs and assigns, covenants and agrees with the Grantee, his heirs and assigns, that any access road constructed in the future by Grantor, her heirs and assigns, over the land now (2009) owned by the Grantor easterly of the within granted parcel shall be constructed as close as is practical to said Grantor's existing (2009) easterly line, considering the terrain and State or Federal environmental laws and regulations."

The above described real estate is a portion of the property described in a Warranty Deed from Julian W. Davis and Edrie W. Davis to Wilder W. Davis and Doris A. Davis, as joint tenants, dated September 24, 1982, recorded in Book 1196, Page 245 of the Washington County Registry of Deeds.

Meaning and hereby conveying the same property described in the deed from Doris A. Davis to Steven G. Tilney, the Grantor herein, dated November 13, 2009 and recorded in Book 3588, Page 220 of said Registry of Deeds.

Granting also to the Grantees herein, their heirs and assigns, all rights, easements, privileges and appurtenances belonging to the granted estate as intended by Title 33 M.R.S.A. Section 773.

WITNESS my hand and seal this 9<sup>th</sup> day of March, 2011.

  
\_\_\_\_\_  
Witness

  
\_\_\_\_\_  
STEVEN G. TILNEY

STATE OF MAINE  
Washington, SS.

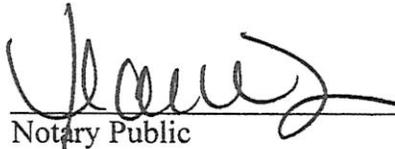
March 9<sup>th</sup>, 2011

Personally appeared the above named STEVEN G. TILNEY and acknowledged the foregoing instrument to be his free act and deed.

Before me,

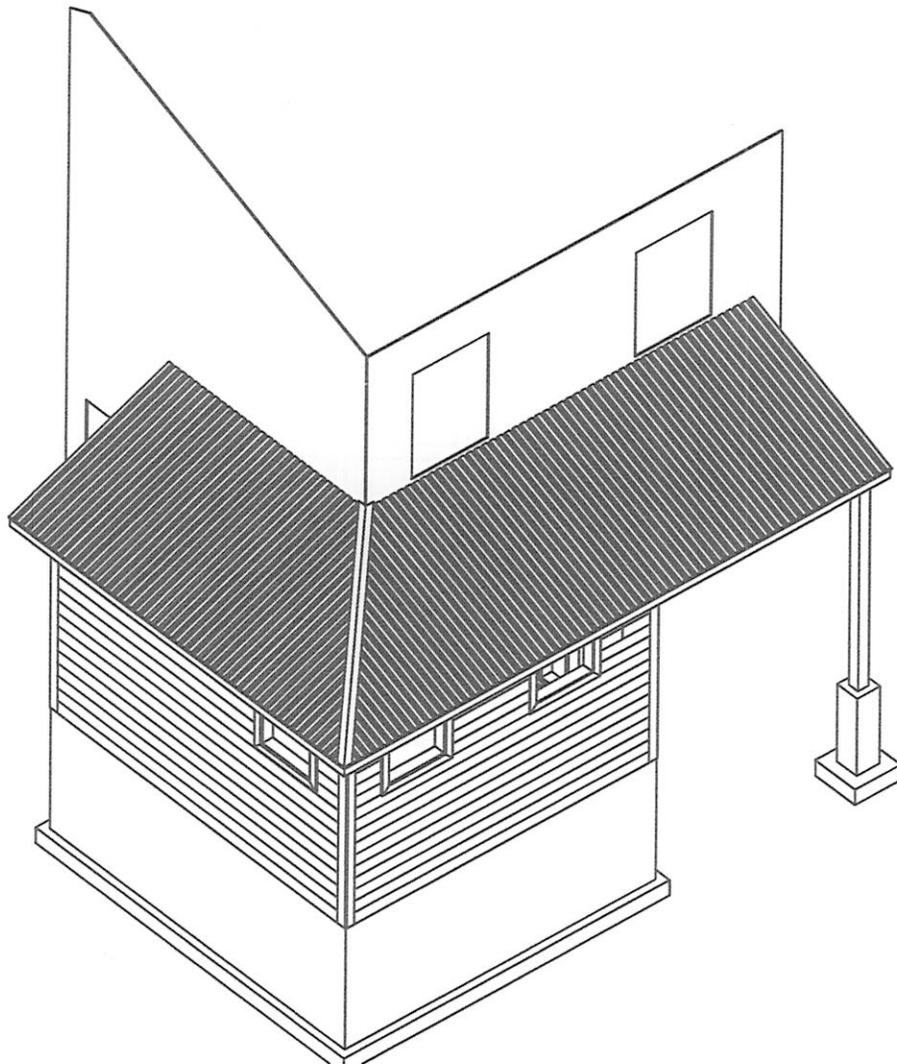
**SEAL**

**JEANINE MALLAR**  
Notary Public, Maine  
My Commission Expires February 12, 2012

  
\_\_\_\_\_  
Notary Public

\_\_\_\_\_  
Typed or printed name of Notary Public  
My commission expires:

Received  
Recorded Register of Deeds  
Mar 15, 2011 03:16:36P  
Washington County  
Sharon D. Strout



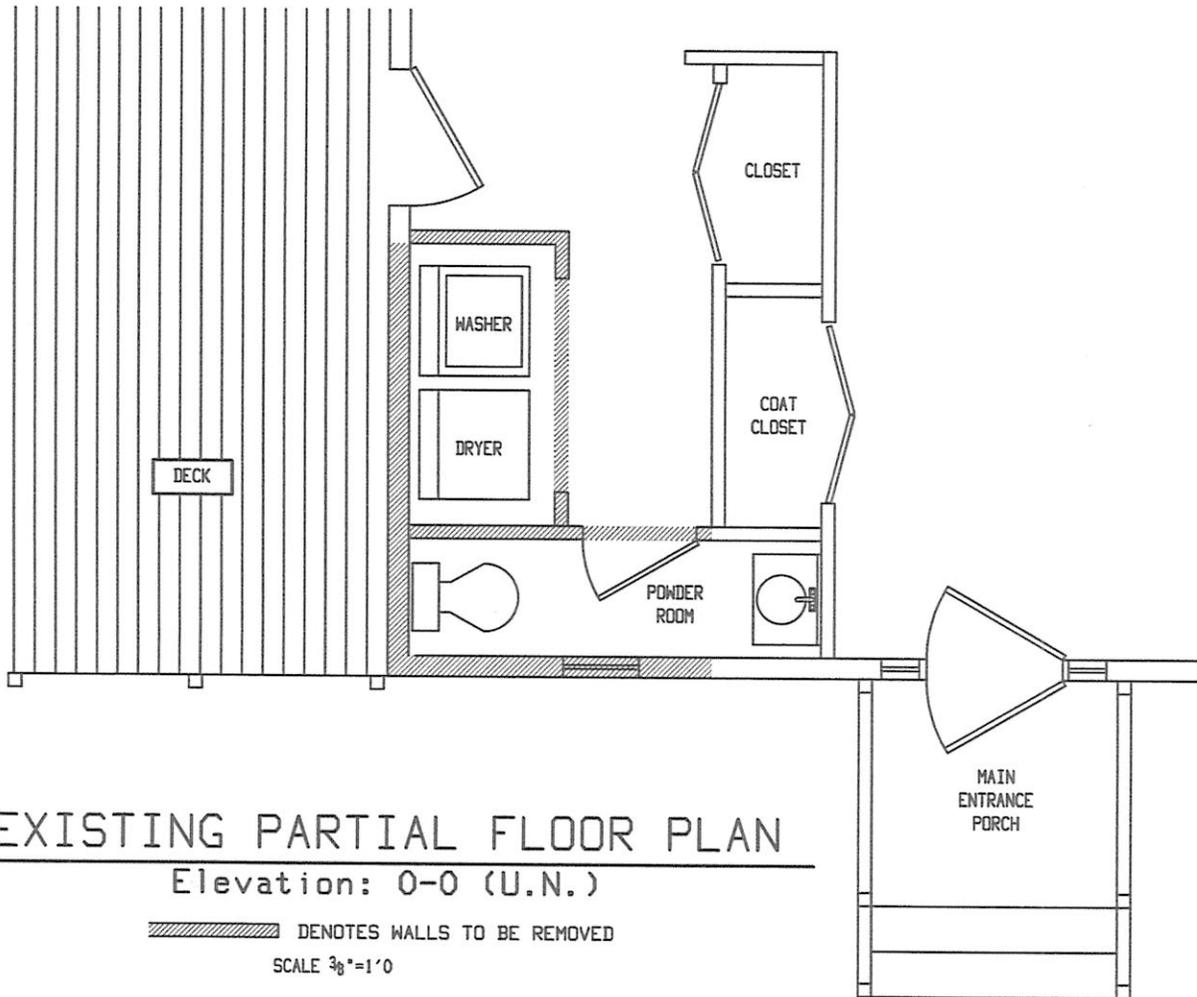
ISOMETRIC VIEW

PROJECT: ADDITION TO THE TILNEY RESIDENCE

LOCATION: 24 VIP DRIVE  
 MACHIAS, MAINE 04654  
 HOME PHONE: 207-259-1243

PROJECT ENGINEER: RICK RAMSDELL  
 PO BOX 468  
 EAST MACHIAS, ME 04630  
 CELL: 207-461-9396

REV	DATE	DESCRIPTION
<b>JOB</b>		
TILNEY RESIDENCE ADDITION AND RENOVATIONS		
MADE BY: RWR	CHECKED BY:	DATE: 4-7-22
ARCH: BAYSHORE STEEL DETAILING		
DESCRIPTION: TITLE PAGE		
		DWG. NO. T1



# EXISTING PARTIAL FLOOR PLAN

Elevation: 0-0 (U.N.)

 DENOTES WALLS TO BE REMOVED

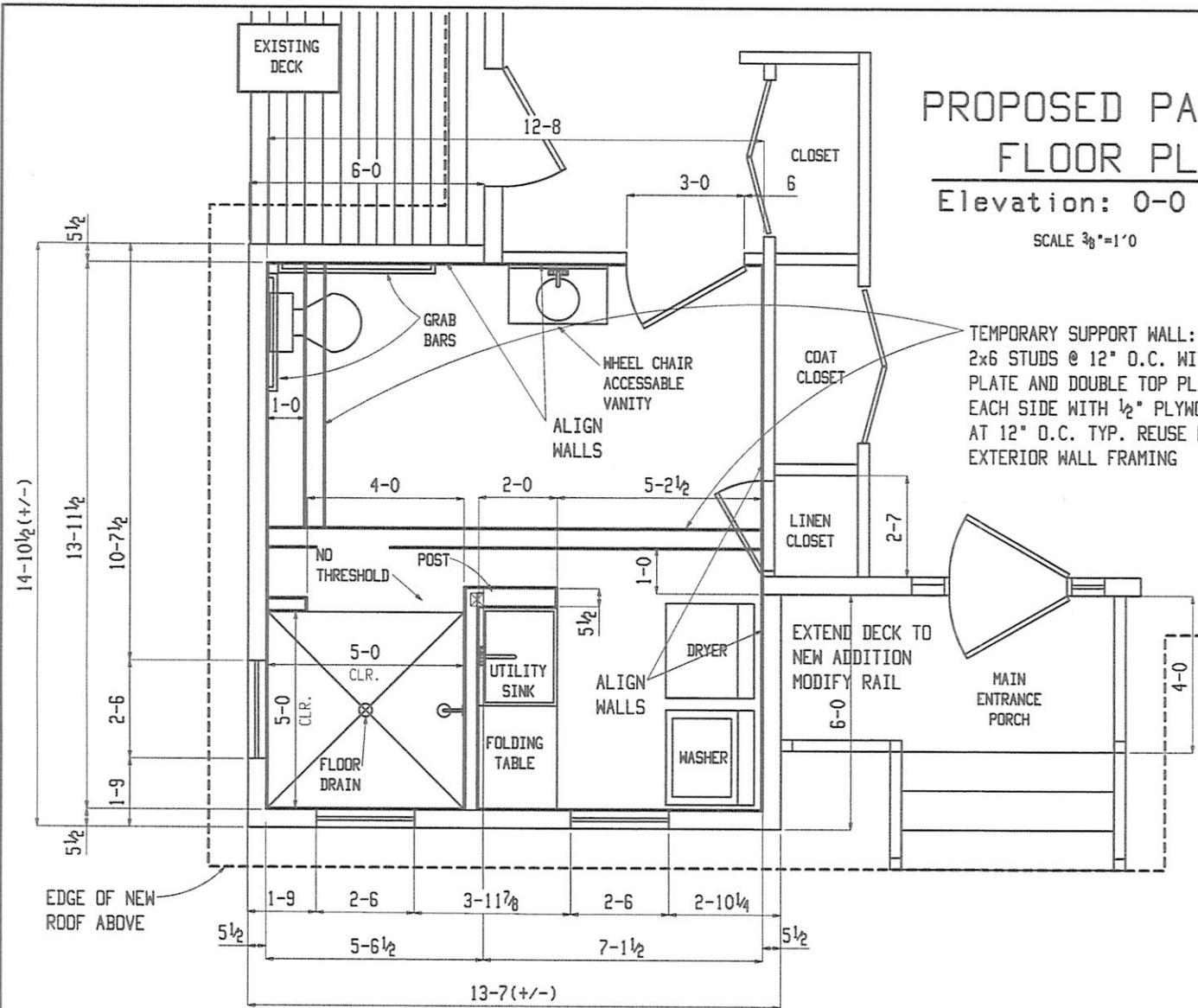
SCALE 3/8"=1'-0"

REV	DATE	DESCRIPTION
<b>JOB</b>		
TILNEY RESIDENCE ADDITION AND RENOVATIONS		
MADE BY: RWR	CHECKED BY:	DATE: 06-02-22
ARCH: BAYSHORE STEEL DETAILING		
DESCRIPTION: EXISTING FLOOR LAYOUT PLAN		
		DWG. NO. A1

# PROPOSED PARTIAL FLOOR PLAN

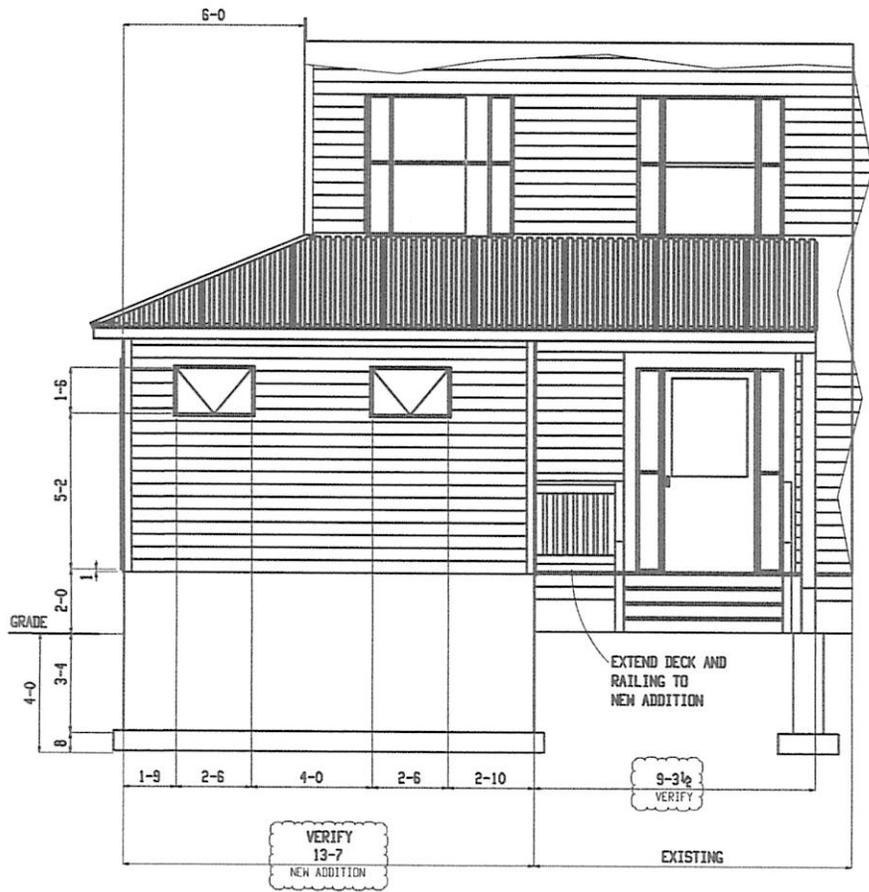
Elevation: 0-0 (U.N.)

SCALE  $\frac{3}{8}"=1'-0"$



TEMPORARY SUPPORT WALL:  
 2x6 STUDS @ 12" O.C. WITH SINGLE BOTTOM  
 PLATE AND DOUBLE TOP PLATE. SHEATH  
 EACH SIDE WITH 1/2" PLYWOOD SCREWS  
 AT 12" O.C. TYP. REUSE MATERIAL FOR  
 EXTERIOR WALL FRAMING

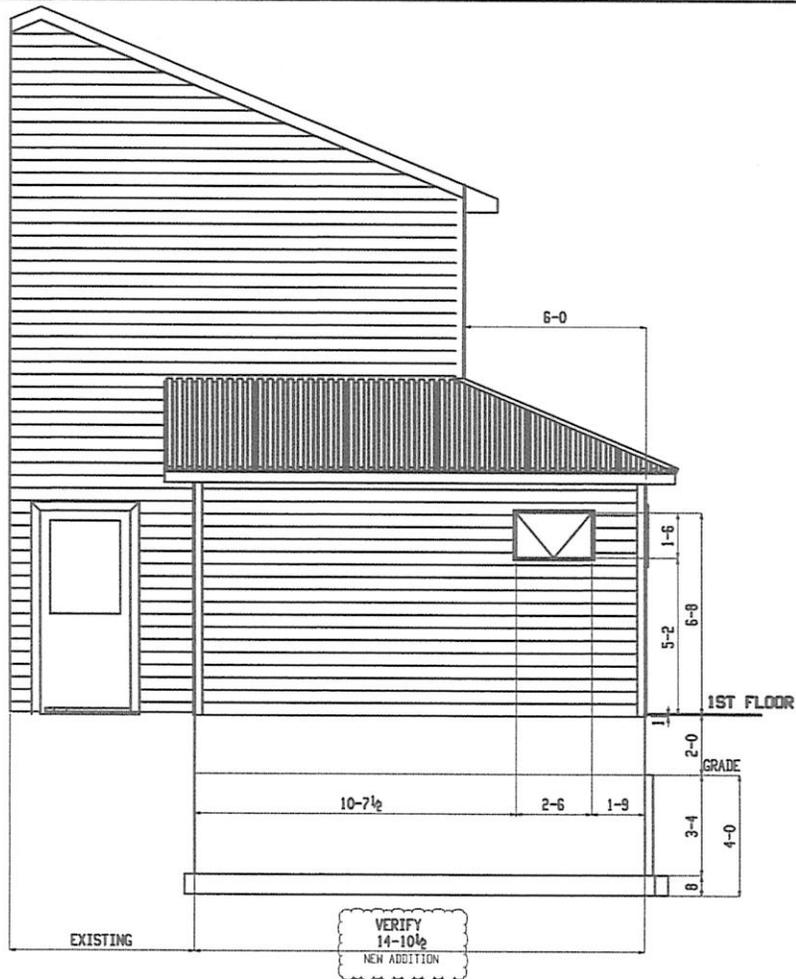
REV	DATE	DESCRIPTION
JOB		
TILNEY RESIDENCE ADDITION AND RENOVATIONS		
MADE BY: RWR		CHECKED BY: DATE: 06-02-22
ARCH: BAYSHORE STEEL DETAILING		
DESCRIPTION: PROPOSED FLOOR PLAN		
		DWG. NO. A2



**EAST ELEVATION**

EXISTING DECK NOT SHOWN

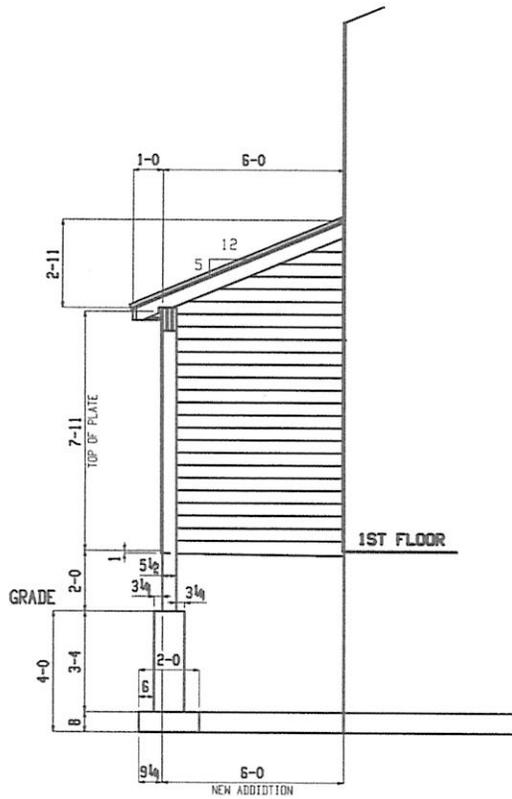
REV	DATE	DESCRIPTION
<b>JOB</b>		
TILNEY RESIDENCE ADDITION AND RENOVATIONS		
MADE BY: RMR		CHECKED BY:      DATE: 06-02-22
ARCH: BAYSHORE STEEL DETAILING		
DESCRIPTION: EAST ELEVATION		
		DWG. NO. <b>A3</b>



**SOUTH ELEVATION**

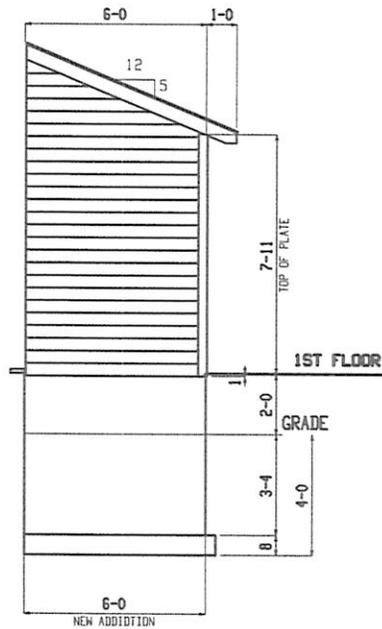
EXISTING DECK NOT SHOWN

REV	DATE	DESCRIPTION
JOB		
TILNEY RESIDENCE ADDITION AND RENOVATIONS		
MADE BY: RWR		CHECKED BY: DATE: 06-02-22
ARCH: BAYSHORE STEEL DETAILING		
DESCRIPTION: SOUTH ELEVATION		
		DWG. NO. A4



**PARTIAL NORTH ELEVATION**

EXISTING DECK NOT SHOWN

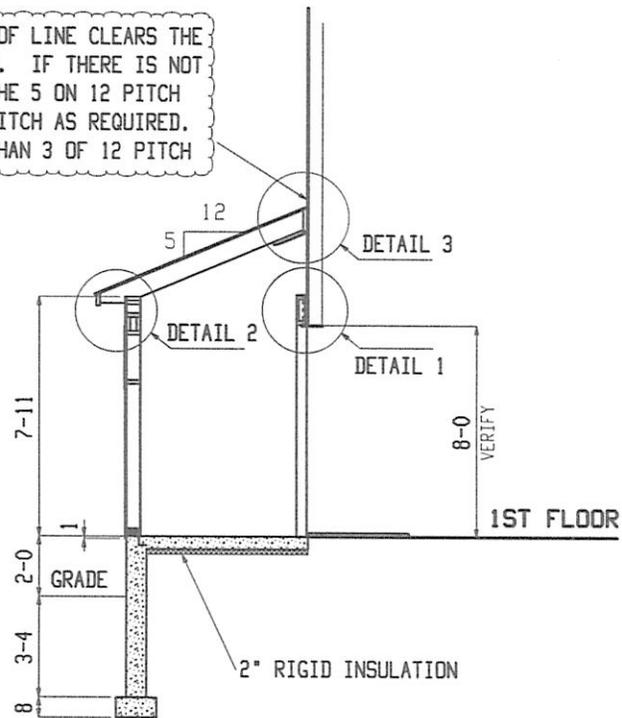


**PARTIAL WEST ELEVATION**

EXISTING DECK NOT SHOWN

REV	DATE	DESCRIPTION
JOB		
TILNEY RESIDENCE ADDITION AND RENOVATIONS		
MADE BY: RMR		CHECKED BY: DATE: 06-02-22
ARCH: BAYSHORE STEEL DETAILING		
DESCRIPTION: NORTH AND WEST ELEVATION		
		DWG. NO.
		A5

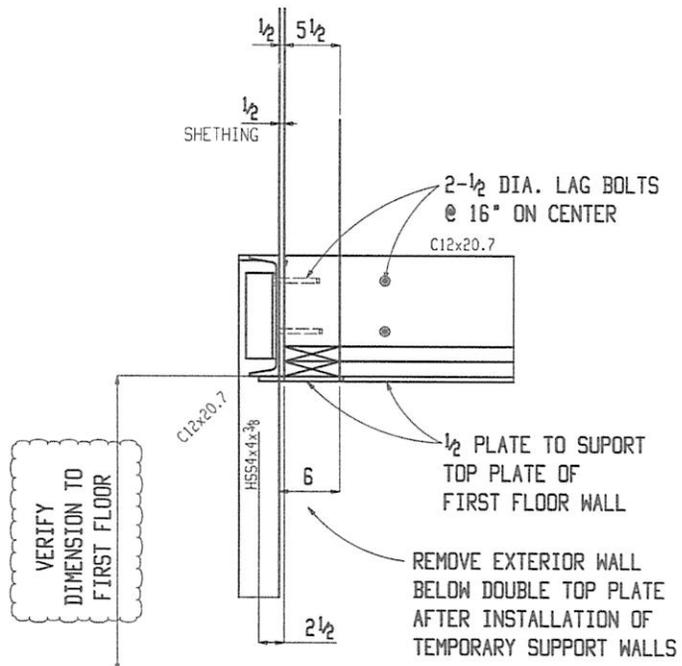
MAKE SURE NEW ROOF LINE CLEARS THE EXISTING WINDOWS. IF THERE IS NOT ENOUGH ROOM AT THE 5 ON 12 PITCH THEN LOWER THE PITCH AS REQUIRED. TO NOT GO LESS THAN 3 OF 12 PITCH



TYPICAL CROSS SECTION

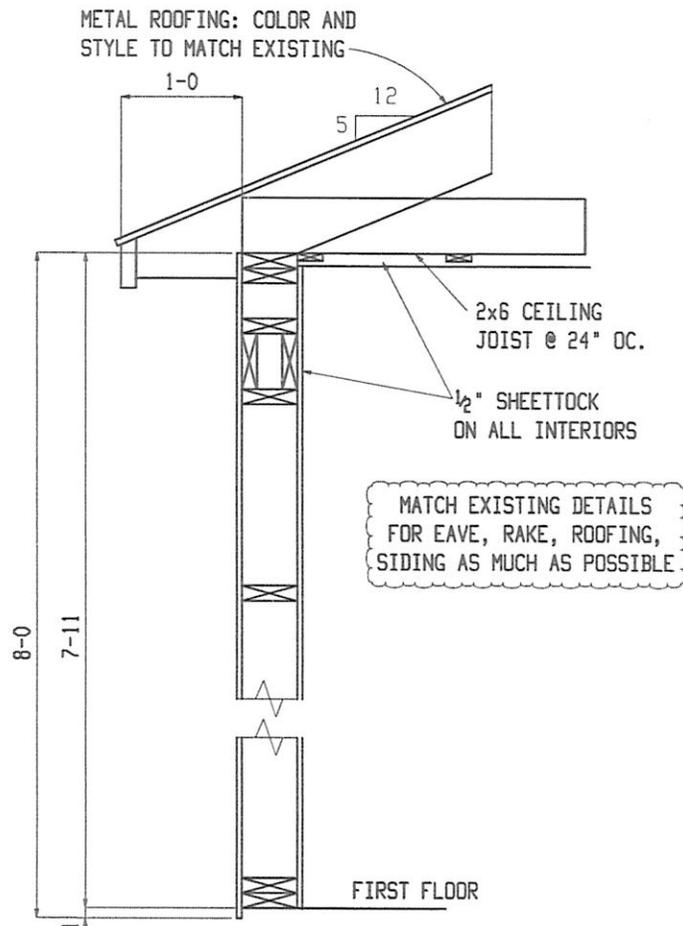
SEE DRAWINGS A7-A9 FOR DETAILS

REV	DATE	DESCRIPTION
JOB		
TILNEY RESIDENCE ADDITION AND RENOVATIONS		
MADE BY: RWR		CHECKED BY:      DATE: 06-02-22
ARCH: BAYSHORE STEEL DETAILING		
DESCRIPTION: TYPICAL CROSS SECTION		
		DWG. NO. A6



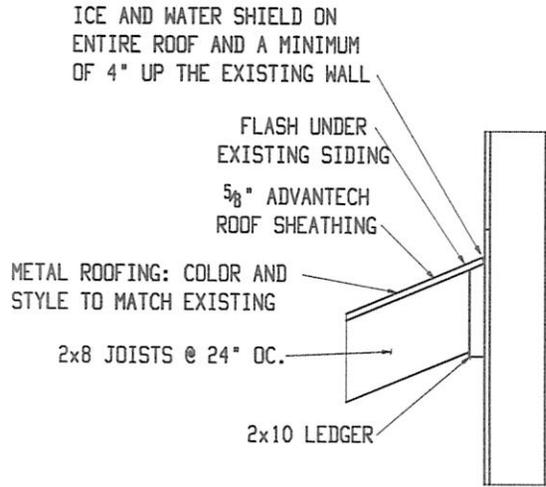
DETAIL 1

REV	DATE	DESCRIPTION
JOB		
TILNEY RESIDENCE ADDITION AND RENOVATIONS		
MADE BY: RWR		CHECKED BY:      DATE: 06-02-22
ARCH: BAYSHORE STEEL DETAILING		
DESCRIPTION: DETAIL 1		
		DWG. NO. A7



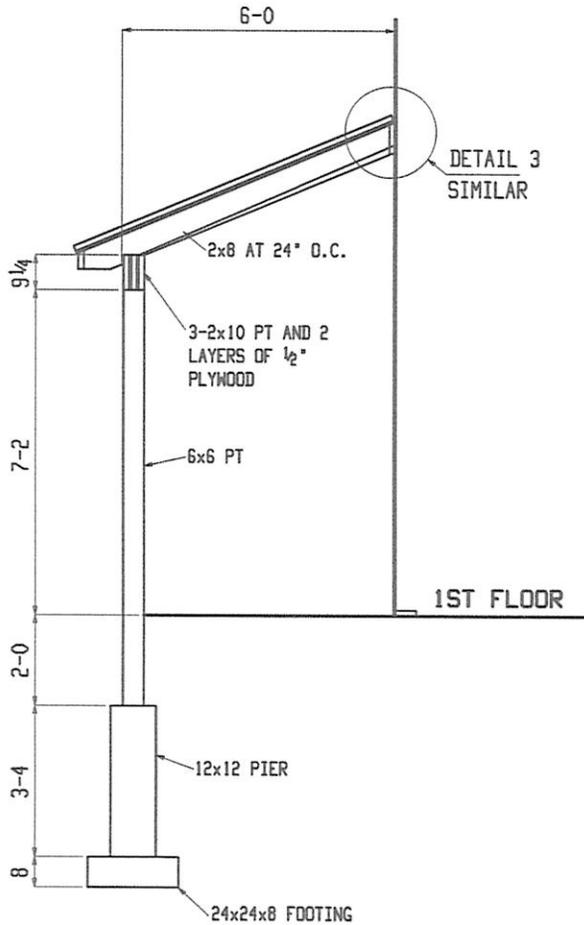
DETAIL 2

REV	DATE	DESCRIPTION
JOB		
TILNEY RESIDENCE ADDITION AND RENOVATIONS		
MADE BY: RMR		CHECKED BY:      DATE: 06-02-22
ARCH: BAYSHORE STEEL DETAILING		
DESCRIPTION: DETAIL 2		
		DWG. NO. A8



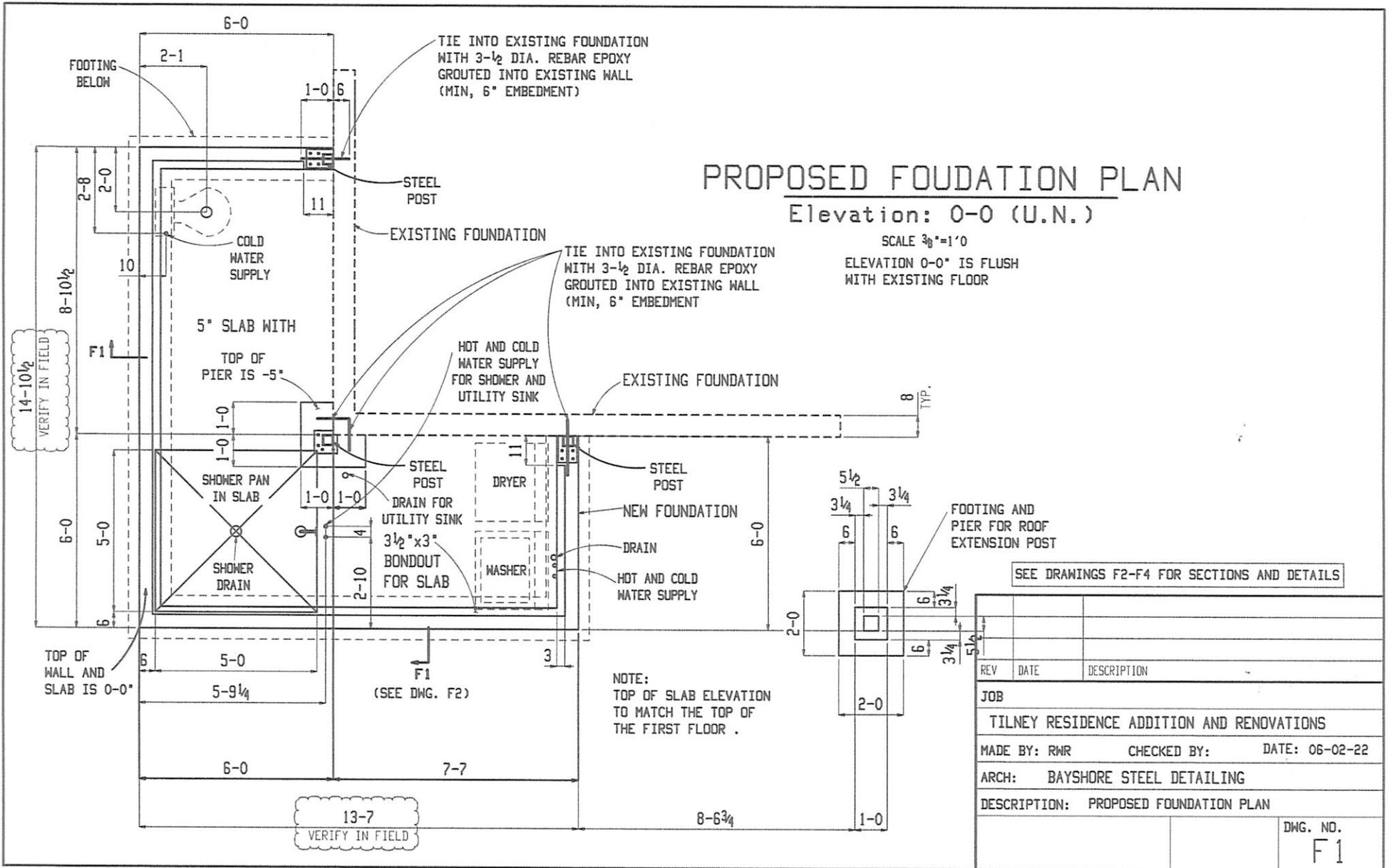
DETAIL 3

REV	DATE	DESCRIPTION
JOB		
TILNEY RESIDENCE ADDITION AND RENOVATIONS		
MADE BY: RMR		CHECKED BY:      DATE: 06-02-22
ARCH: BAYSHORE STEEL DETAILING		
DESCRIPTION: DETAIL 3		
		DWG. NO. A9



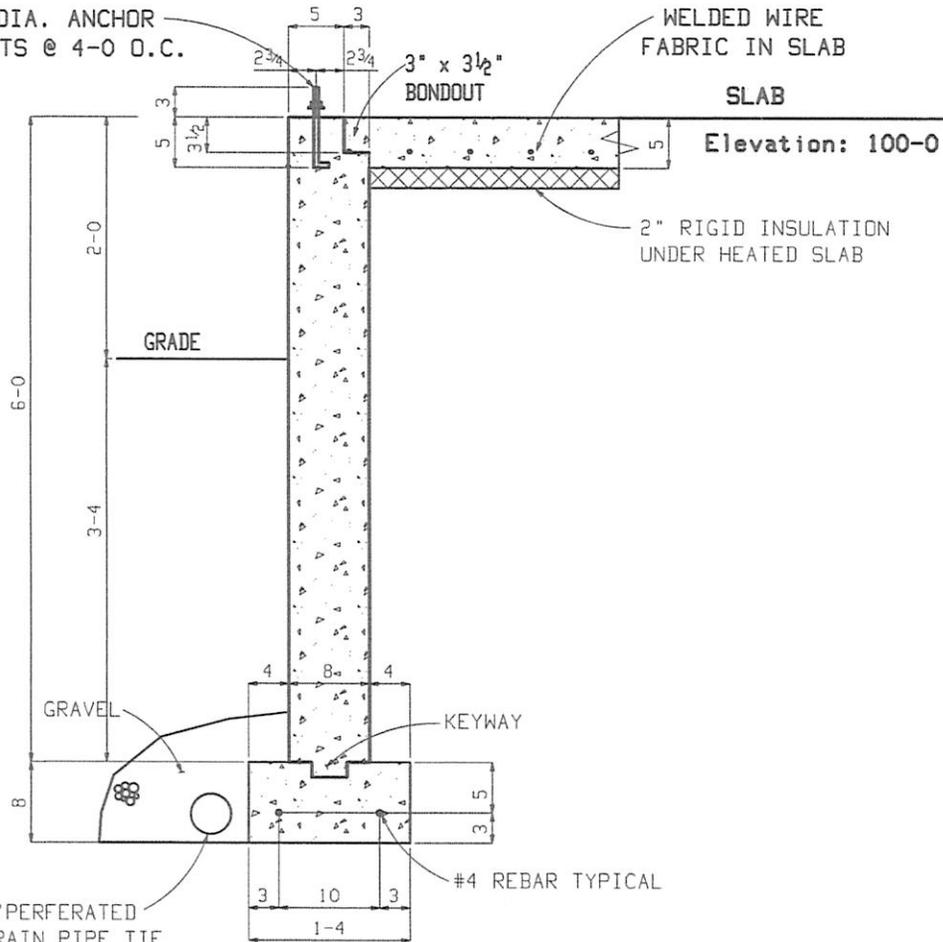
TYPICAL SECTION THROUGH OVERHANG ROOF

REV	DATE	DESCRIPTION
JOB		
TILNEY RESIDENCE ADDITION AND RENOVATIONS		
MADE BY: RMR		CHECKED BY:      DATE: 06-02-22
ARCH: BAYSHORE STEEL DETAILING		
DESCRIPTION: TYPICAL SECTION THROUGH ROOF OVERHANG		
		DWG. NO.
		A10



REV	DATE	DESCRIPTION
JOB		
TILNEY RESIDENCE ADDITION AND RENOVATIONS		
MADE BY: RWR	CHECKED BY:	DATE: 06-02-22
ARCH: BAYSHORE STEEL DETAILING		
DESCRIPTION: PROPOSED FOUNDATION PLAN		
		DWG. NO.
		F1

1/2 DIA. ANCHOR  
BOLTS @ 4-0 O.C.



WELDED WIRE  
FABRIC IN SLAB

SLAB

Elevation: 100-0

2" RIGID INSULATION  
UNDER HEATED SLAB

GRADE

GRAVEL

KEYWAY

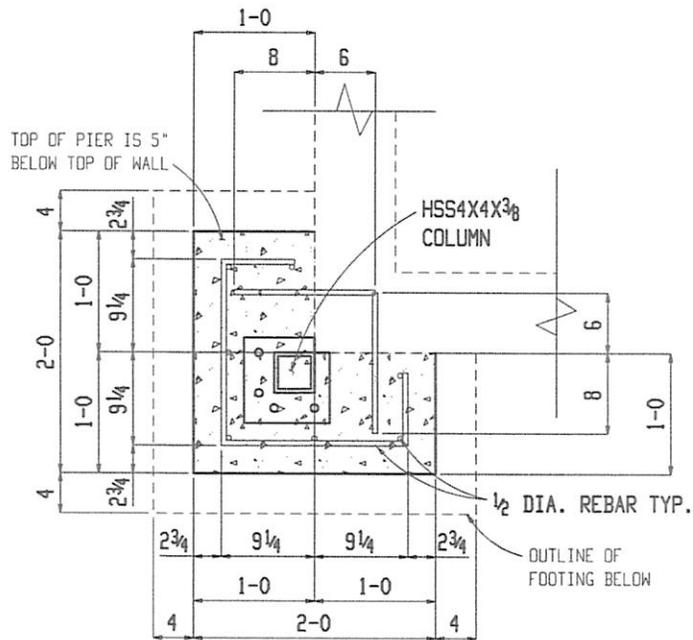
4" PERFORATED  
DRAIN PIPE TIE  
INTO EXIST.  
DRAIN IF EXISTS

#4 REBAR TYPICAL

### SECTION F1

TYPICAL WALL SECTION  
SCALE: 1"=1'0"

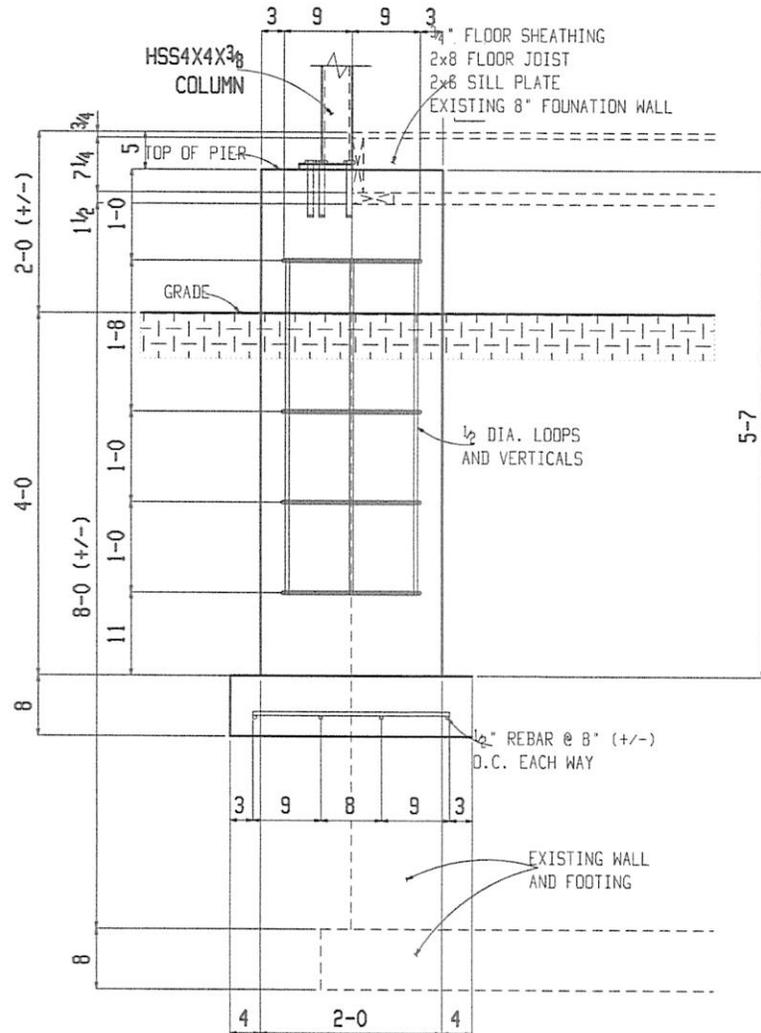
REV	DATE	DESCRIPTION
<b>JOB</b>		
TILNEY RESIDENCE ADDITION AND RENOVATIONS		
MADE BY: RWR	CHECKED BY:	DATE: 06-02-22
ARCH: BAYSHORE STEEL DETAILING		
DESCRIPTION: FOUNDATION SECTION		
		DWG. NO. F2



**ENLARGED PIER DETAIL**

SCALE 1"=1'-0"

REV	DATE	DESCRIPTION
JOB		
TILNEY RESIDENCE ADDITION AND RENOVATIONS		
MADE BY: RWR	CHECKED BY:	DATE: 06-02-22
ARCH: BAYSHORE STEEL DETAILING		
DESCRIPTION: NEW PIER PLAN		
		DWG. NO. F3



### ELEVATION OF NEW PIER

SCALE 3/4" = 1'-0"

REV	DATE	DESCRIPTION
<b>JOB</b>		
TILNEY RESIDENCE ADDITION AND RENOVATIONS		
MADE BY: RWR	CHECKED BY:	DATE: 06-02-22
ARCH: BAYSHORE STEEL DETAILING		
DESCRIPTION: NEW PIER SECTION		
		DWG. NO. F4